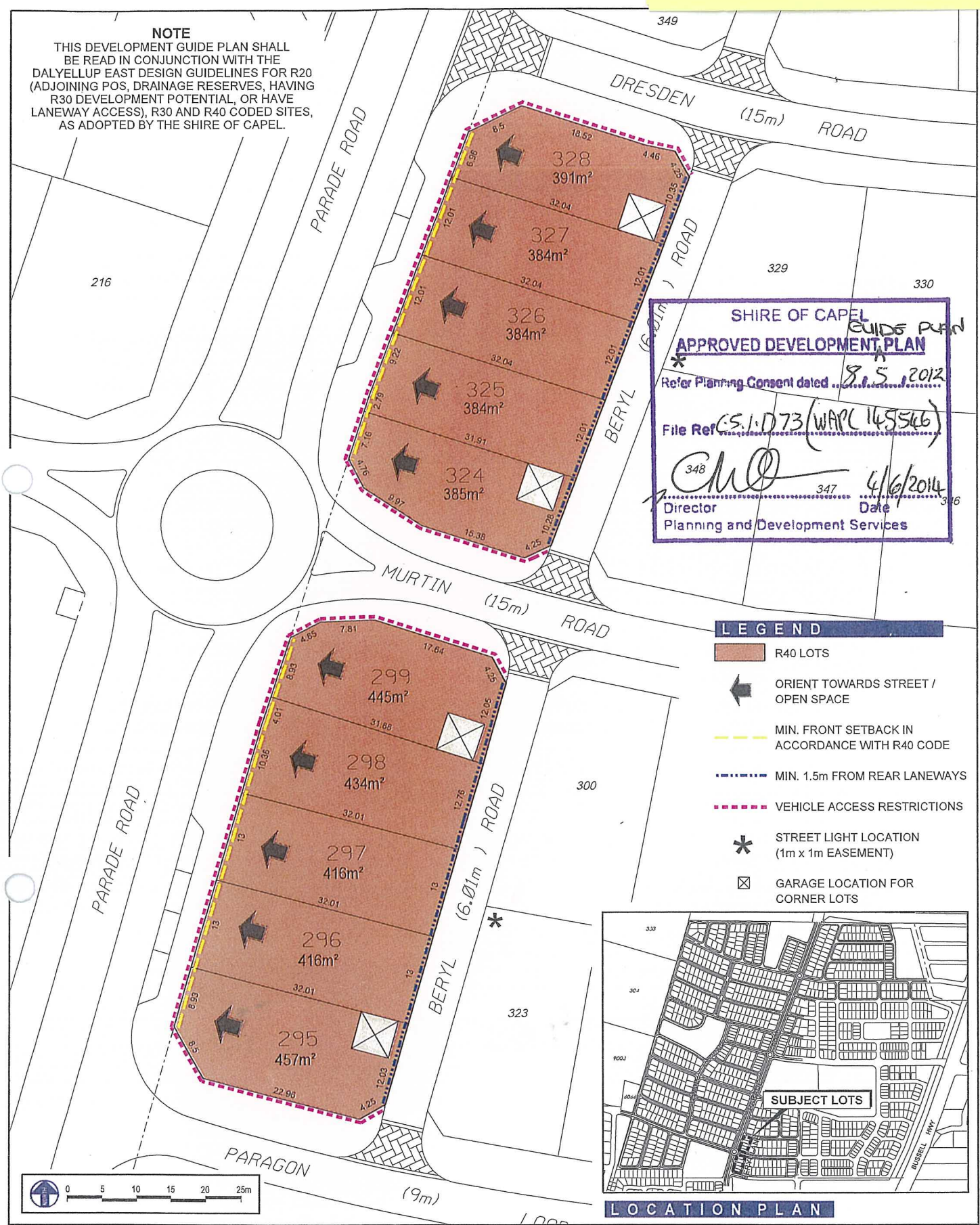
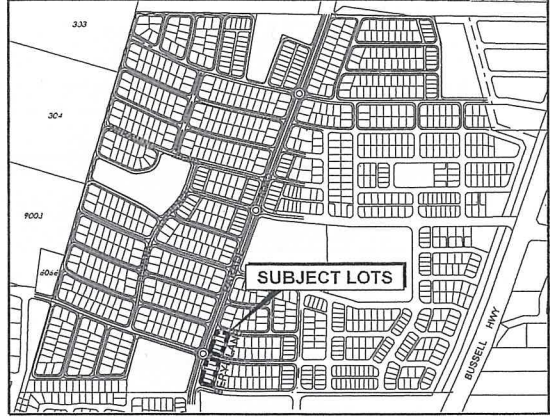


NOTE
 THIS DEVELOPMENT GUIDE PLAN SHALL BE READ IN CONJUNCTION WITH THE DALYELLUP EAST DESIGN GUIDELINES FOR R20 (ADJOINING POS, DRAINAGE RESERVES, HAVING R30 DEVELOPMENT POTENTIAL, OR HAVE LANEWAY ACCESS), R30 AND R40 CODED SITES, AS ADOPTED BY THE SHIRE OF CAPEL.



SHIRE OF CAPEL
APPROVED DEVELOPMENT PLAN
 Refer Planning Consent dated 8.5.2012
 File Ref: CS.1.D.73 (WAPC 145546)
 Director: [Signature] 348
 Date: 4/6/2014 347
 Planning and Development Services

- LEGEND**
- R40 LOTS
 - ORIENT TOWARDS STREET / OPEN SPACE
 - MIN. FRONT SETBACK IN ACCORDANCE WITH R40 CODE
 - MIN. 1.5m FROM REAR LANEWAYS
 - VEHICLE ACCESS RESTRICTIONS
 - * STREET LIGHT LOCATION (1m x 1m EASEMENT)
 - ☒ GARAGE LOCATION FOR CORNER LOTS



STAGE 4A - DETAILED AREA PLAN
 LOTS 295 - 299 & 324 - 328, "THE TUARTS"

IRONBRIDGE HOLDINGS PTY LTD : CLIENT
 1:500@A3 : SCALE
 12 March 2014 : DATE
 11120-4-003 : PLAN No
 c : REVISION
 S.L.B : PLANNER
 B.L./B.C. : DRAWN
 M.H : CHECKED



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Base data supplied by MAPS

Areas and dimensions shown are subject to final survey calculations.
 All carriageways are shown for illustrative purposes only and are subject to detailed engineering design.

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