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Group

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COUNCIL
DATE 27/01/10 MIN REF: OC0103

PRESIDING MEMBER



Dalyellup

Dalyellup Aged Persons Accommodation Site Outline
Development Plan and Modification 21 to DELSP



09317
February 2010



DOCUMENT QUALITY CONTROL

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DATE
13.11.2009

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REVISION TABLE

No.	REVISION	DATE
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C	Recommended modifications from Council	18.01.2010
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1.0 INTRODUCTION

Planning work has now been undertaken to create a Senior Living Village for the “Aged Persons” site identified in the Dalyellup East Local Structure Plan. This work has helped to focus the evolution of the detail contained within this Outline Development Plan (ODP).

At the heart and soul of village life is the town square. This design seeks to distil the fine essences and experiences of town square life into a central area that provides seniors with recreational and social activities within a well designed and landscaped setting.

The surrounding accommodation precincts radiate out from the central area in a way that focuses vibrancy into its heart. The village will deliver a wide variety of well designed senior accommodation to cater for active to frail aged residents.

Importantly, inspiration for the village design has been obtained by its greater setting. The site will form part of a landmark design locality associated with the future district centre. Building design will be inspired and endeavour to create an iconic landmark identity, marking the start of the District Centres main street at the junction of Norton Promenade and Parade Road. Other precincts will respond to their immediate surrounds to create high quality streetscapes and positive interactions with open space and conservation areas.

1.1 PURPOSE OF REPORT

The intent of this report is to provide a provide the planning framework and vision for the “Aged Persons” site. In particular, it will:

- Provide an Outline Development Plan map defining precincts;
- Provide a concept plan demonstrating an indicative landuse and layout;
- Provide implementation mechanisms, including design and land use controls;
- Provide assessment of traffic model implications and outcomes; and
- Describe Modification 21 to the Dalyellup East Local Structure Plan which is intended to confirm the permissibility of the range of land uses expected to be established as part of a comprehensive seniors living village.

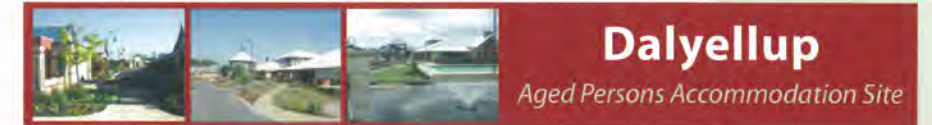
2.0 PHYSICAL CONTEXT

2.1 SITE AND SITUATION

The subject land is located within the Shire of Capel (see Figure 1 – Location Plan).

The Dalyellup East Local Structure Plan (DELSP) identifies the site abutting the District Centre to the south, a wetland area to the west and residential development to the west, north and east.

The site is well located to take advantage of regional facilities with the Parade Road providing a strategic link to the City of Bunbury.



2.2 LAND TENURE

The subject land is located on a balance title from Stage 17 (WAPC 129329). Subdivision conditional matters associated with WAPC 129329 are presently being resolved to ensure suitable servicing requirements have been satisfied. (see Figure 2 – Subdivision Approval).

2.3 LANDFORM

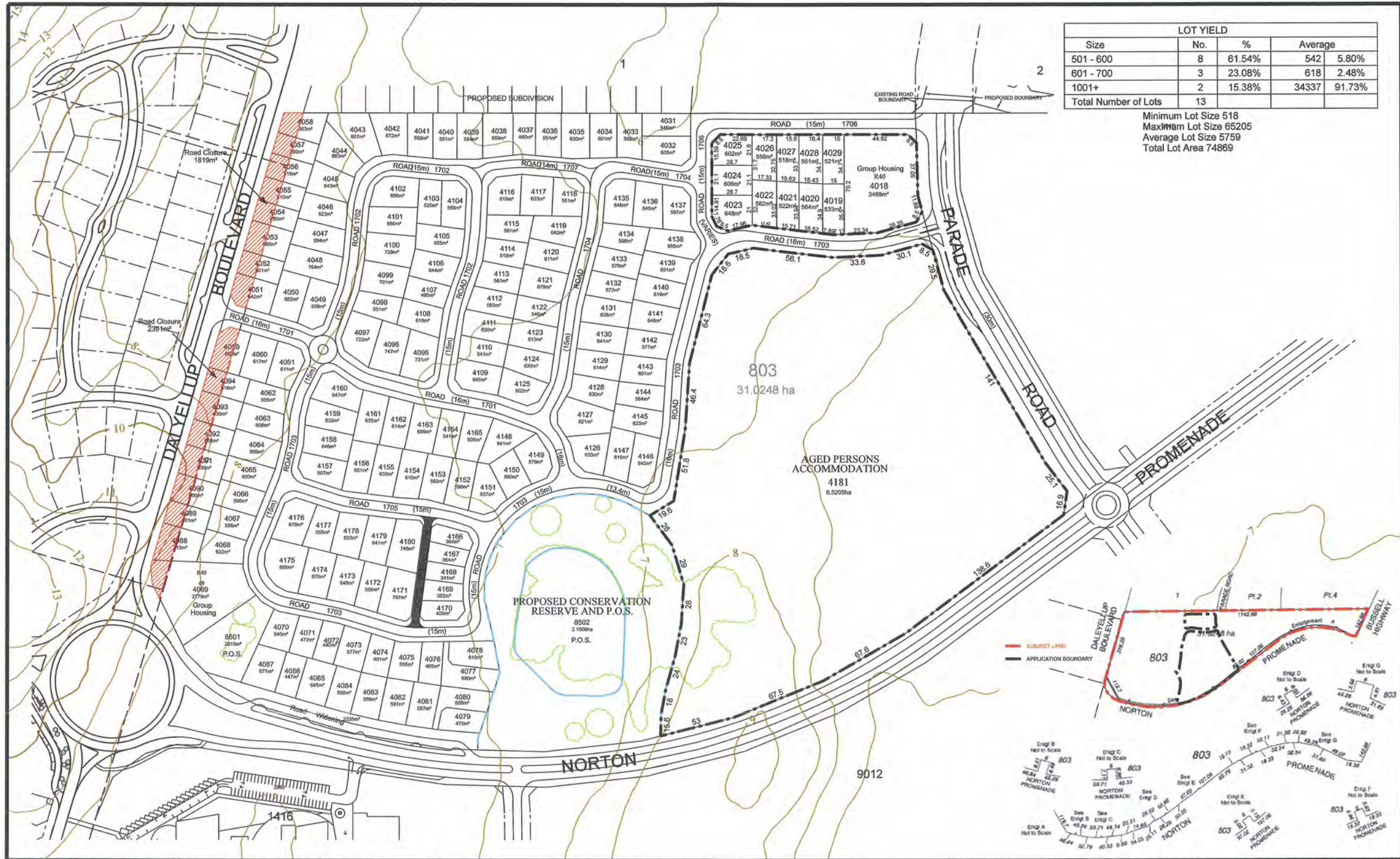
The Aged Persons site lies on the Swan Coastal Plain within the Spearwood Dune System. The dunal system consists of moderate parallel ridges of Tamala Limestone, overlain to variable depths by well drained siliceous yellow brown sands.

The site has been earthworked, contains no remnant vegetation and is extremely flat with a uniformed elevation. This flat elevation ensures easy access for vehicles and pedestrians.

Detailed environmental assessment has been undertaken for the site as part of the Dalyellup East Structure Plan. These assessments investigated a wide range of considerations, including topography and landforms, geology and soils, hydrology and surface drainage, wetlands, vegetation and flora, vegetation communities and contamination.



Figure 1 - Location Plan



LOT YIELD				
Size	No.	%	Average	
501 - 600	8	61.54%	542	5.80%
601 - 700	3	23.08%	618	2.48%
1001+	2	15.38%	3437	91.73%
Total Number of Lots		13		

Minimum Lot Size 518
Maximum Lot Size 65205
Average Lot Size 5759
Total Lot Area 74869

Proposed Subdivision Plan
Lot 803 Norton Promenade
Dalyellup

A Village in a Forest by the Sea

LEGEND

- SUBJECT LAND
- EXISTING LOT BOUNDARY
- SUPERLOT BOUNDARY
- PROPOSED SUBDIVISION LOT BOUNDARY
- PROPOSED DIMENSIONS
- WETLAND TO BE RETAINED
- RECOMMENDED MINIMUM WETLAND BUFFER
- EXISTING SIGNIFICANT VEGETATION
- LANEWAY

ORIGINAL SIZE **A1**
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PLANNER: **A.M.**
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SCALE: **A1 - 1 : 1250**
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DATE: **20 / 11 / 06**
PLAN No. **04128P-13**



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Figure 2 - Subdivision Plan



3.0 PLANNING CONTEXT

3.1 STATE PLANNING POLICY NO. 1

The State Planning Policy No. 1 (SPP No.1) is the State planning framework, setting out the key principals for land use planning and development. It brings existing regional policies and plans into an ordered hierarchy to guide decision making on land use and development.

Local governments are required to have “due regard” to the provisions of SPP No.1 in the preparation of planning schemes and consideration of planning matters.

3.2 STATE PLANNING STRATEGY

The State Planning Strategy was adopted by the Western Australian Planning Commission in December 1997.

The strategy identifies Greater Bunbury as the dominant “Regional Urban Area” to the South West. It also promotes urban growth in two main corridors, along the coast towards Margaret River and along the South West Highway towards Manjimup.

The Aged Persons site is well located to service communities along the coastal corridor.

3.3 GREATER BUNBURY REGION SCHEME (GBRS)

This is the statutory region scheme for the Greater Bunbury Area. The key aim of the GBRS is to promote “sustainable development of land taking into account relevant environmental, social and economic factors.

The GBRS zones the subject land as “Urban” (see *Figure 3*). The “Urban” zoning is to provide for residential development and associated local employment, recreation and open space, shopping, schools and other community facilities”.

The GBRS provides a mechanism for development of regional significant to be considered and approved by the WAPC. The approval of the WAPC is not required for development within the Aged Persons site.

3.4 BUNBURY WELLINGTON REGION PLAN AND GREATER BUNBURY STRUCTURE PLAN

The Bunbury-Wellington Region Plan includes the subject land within the Usher/Gelorup/Dalyellup Unit (BU6) see *Figure 4*.

This plan highlights a preferred development option to encourage community development by creating villages, focusing on village greens, local shops and public transport.

The Bunbury-Wellington Region Plan also includes the Greater Bunbury Structure Plan (see *Figure 5*) which generally identifies the site as “Future Urban” (Category B).

3.5 USHER, GELORUP AND DALYELLUP DISTRICT STRUCTURE PLAN (1992)

This plan was prepared to provide a framework for urban expansion along the coastal corridor south of Bunbury. The Plan enabled local structure planning to be undertaken for specific areas (see *Figure 6*).

3.6 SHIRE OF CAPEL LAND USE STRATEGY

The Shire of Capel Land Use Strategy applies to the entire municipal district and is incorporated into Town Planning Scheme No. 7 by the provisions of Clause 6.1.

The Strategy includes the Dalyellup East Local Structure Plan area within planning unit BU6 (Gelorup/Dalyellup). The objective for this planning unit is to provide for urban expansion while conserving significant areas of natural and environmental value.

3.7 SHIRE OF CAPEL DISTRICT TOWN PLANNING SCHEME NO.7

The District Centre is subject to the provisions of the Shire of Capel Town Planning Scheme No.7 (TPS No.7). This Scheme was gazetted on the 17th March 1998.

The subject land is zoned “Urban Development” under TPS No.7 (*Figure 7*). The “Urban Development” zoning provides a framework for structure planning and defines requirements for future subdivision/development.

The objective of the “Urban Development Zone” is to allow for the progressive development of land for residential, commercial, community and other uses normally associated with residential estates.

The zoning is designed to be flexible in nature and to overcome the inherent problems associated with detailed zoning of land prior to lot boundaries being established for subdivision.

Appendix 16 of TPS No.7 details specific subdivision and development requirements. Clause 2 (e) states:

“Where a site is identified on the Local Structure Plan for the Precinct as being for the purpose of aged persons accommodation, an Outline Development A Plan shall be prepared and endorsed by the Shire of Capel and the Western Australian Planning Commission prior to development commencing to identify development standards and design guidelines to ensure that the development of accommodation on the site is integrated into the urban design and community infrastructure of the Precinct.”

Other relevant clauses include:

- Clause 5.10.3, which states that “Permitted uses of land are those uses nominated on the approved Outline Development Plan”;

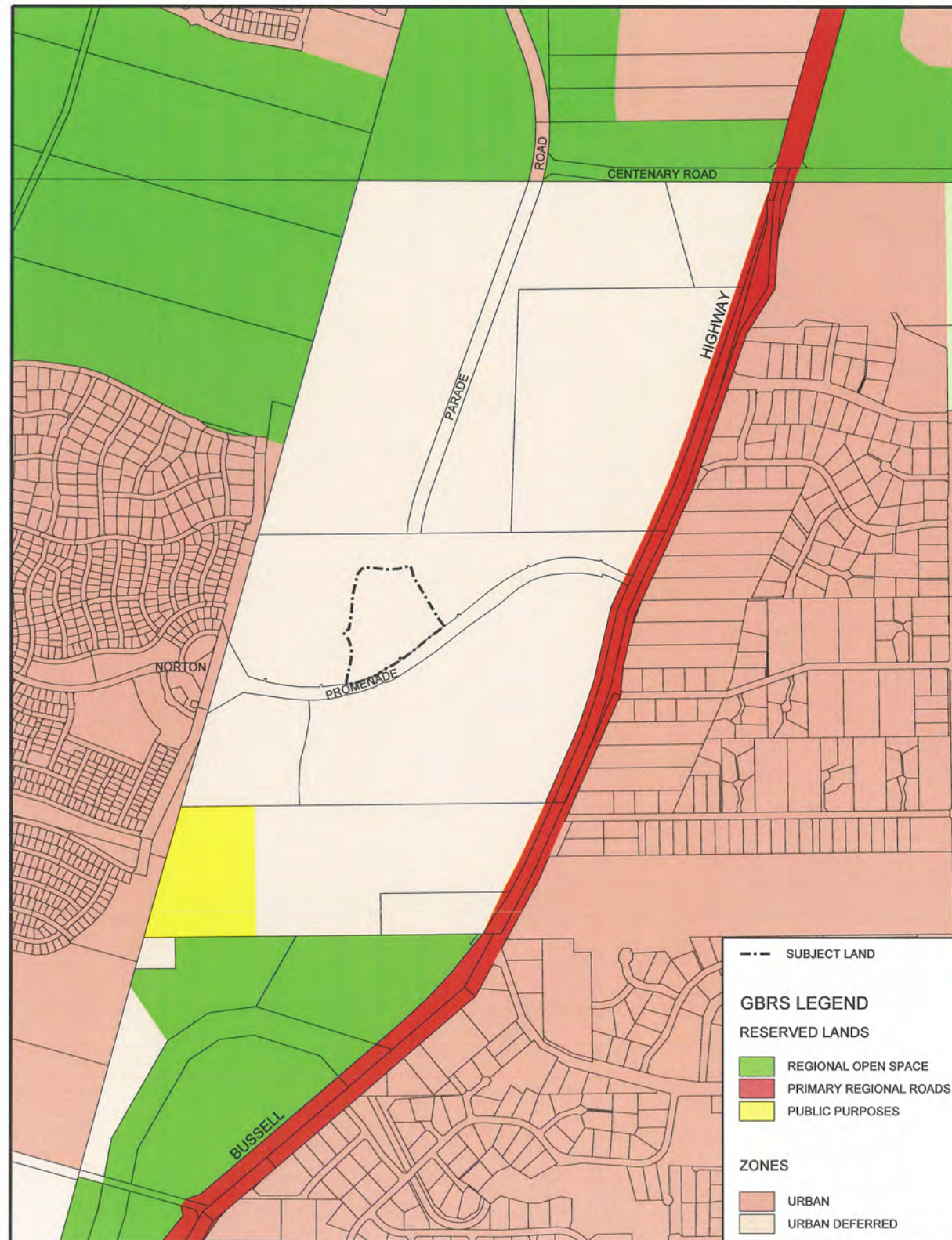


Figure 3 - Extract from Greater Bunbury Region Scheme

PLANNING UNIT BU6: USHER, GELORUP, DALYELLUP

UNIT DEFINITION	
	<p>Major Surface Water Catchment: Bunbury Coastal Catchment.</p> <p>Location: Bounded by Ocean Drive/Washington Ave/Busseil Hwy/Preston River Catchment on the north, Outer Ring Road on the east, Lakes Road/Five Mile Brook Drain on the south and the coast on the west.</p> <p>Local Authority: City of Bunbury & Shire of Capel.</p> <p>Physical Features: The landform consists of coastal Quindalup Dunes, a chain of wetlands paralleling the coast and a low scarp of Spearwood Dunes and the Bunbury Basalt Formation east of Busseil Highway. The natural vegetation consists of open heath, tall open tuart forest & banksia woodland. The wetland areas support flooded gum & paper bark.</p> <p>Existing Land Uses: A combination of urban, rural-residential development, agriculture, basalt extraction, and SCM disposal site.</p>
	<p>ISSUES, OPPORTUNITIES & CONSTRAINTS</p> <ul style="list-style-type: none"> The Usher, Gelorup & Dalyellup area was identified in the <i>Bunbury Region Plan</i> for Existing Urban, Urban Expansion (medium and long term), Special Rural, District Centre, Public Purposes, Parks, Recreation and Drainage and Areas Under Consideration for Conservation, Scenic Protection and Reservation. Land capability assessment indicates that the main limitations to residential development exist on the unstable Quindalup Dunes & low lying swamp land. The Spearwood soils are well suited for grazing, forestry uses, residential and rural-residential development. Under irrigation, these soils are also suitable for horticulture. Two options for residential development were examined in the Usher, Gelorup & Dalyellup Structure Plan: <ul style="list-style-type: none"> Concept 1 - to encourage community development by creating villages by commonage & focus on an active centre containing medium density residential development, village green, local shop, public transport stop & primary school. Concept 2 - recognises planning which has previously been undertaken for the study area. It is based on the urban densities being achieved in more progressive developments in the Perth Metropolitan Region. Concept 1 was the preferred option in the community submissions and is therefore promoted (in a modified form) in the Greater Bunbury Structure Plan. The Usher-Stratham Environmental Study identified significant areas of coastal tuart forest as being environmentally important and well worth preserving. The coastal dunes in this area are unique in that they are steep and high and contain substantial tuart/peppermint vegetation to the back of the frontal dunes. Mineral sand deposits are known to exist within the Quindalup/Spearwood dunes. The whole of the area is covered by mining tenements. Two basalt extraction quarries operate adjacent to the special residential estate at Gelorup. A small local rubbish tip operates on Harewood Road, adjacent to the Five Mile Brook diversion. A buffer zone around the Bunbury regional waste water treatment plant is required. A nominal 1 km buffer has been defined.
<p>PLANNING POLICIES & GUIDELINES</p> <p>PREDOMINANT LAND USES: Existing Urban, Future Urban (Medium and Long term), Rural-Residential, District Centre, Mixed Business Area, Tourism and Recreation Development, Public Purposes, Industrial, Rural-Urban Transition and Amenity Area, Rural, Parks Recreation and Drainage, Areas Under Consideration for Conservation Scenic Protection and Reservation *****</p> <ol style="list-style-type: none"> Development to proceed in accordance with the approved Usher, Gelorup & Dalyellup District Structure Plan. Landscape buffer, conservation & tree planting areas should be promoted in accordance with the structure plan. Buffer requirements for the Bunbury regional waste water treatment plant should be further defined by detailed study. Wetland protection in accordance with EPA's EPP for Swan Coastal Plain Lakes. Prepare a Coastal Management Plan which addresses: <ul style="list-style-type: none"> impact of residential development on the coastal environment; dune stability; protection of dune vegetation. Preserve designated areas of natural vegetation, but support the concept of mineral sand extraction in areas designated for future urban, with rehabilitation to a standard suitable for urban development. Rehabilitate SCM waste dump site and determine appropriate future uses of that land. All development in unsewered areas should incorporate alternative effluent disposal systems that strictly control nutrient export. 	

Figure 4 - Usher, Gelorup and Dalyellup Planning Unit Planning Statement

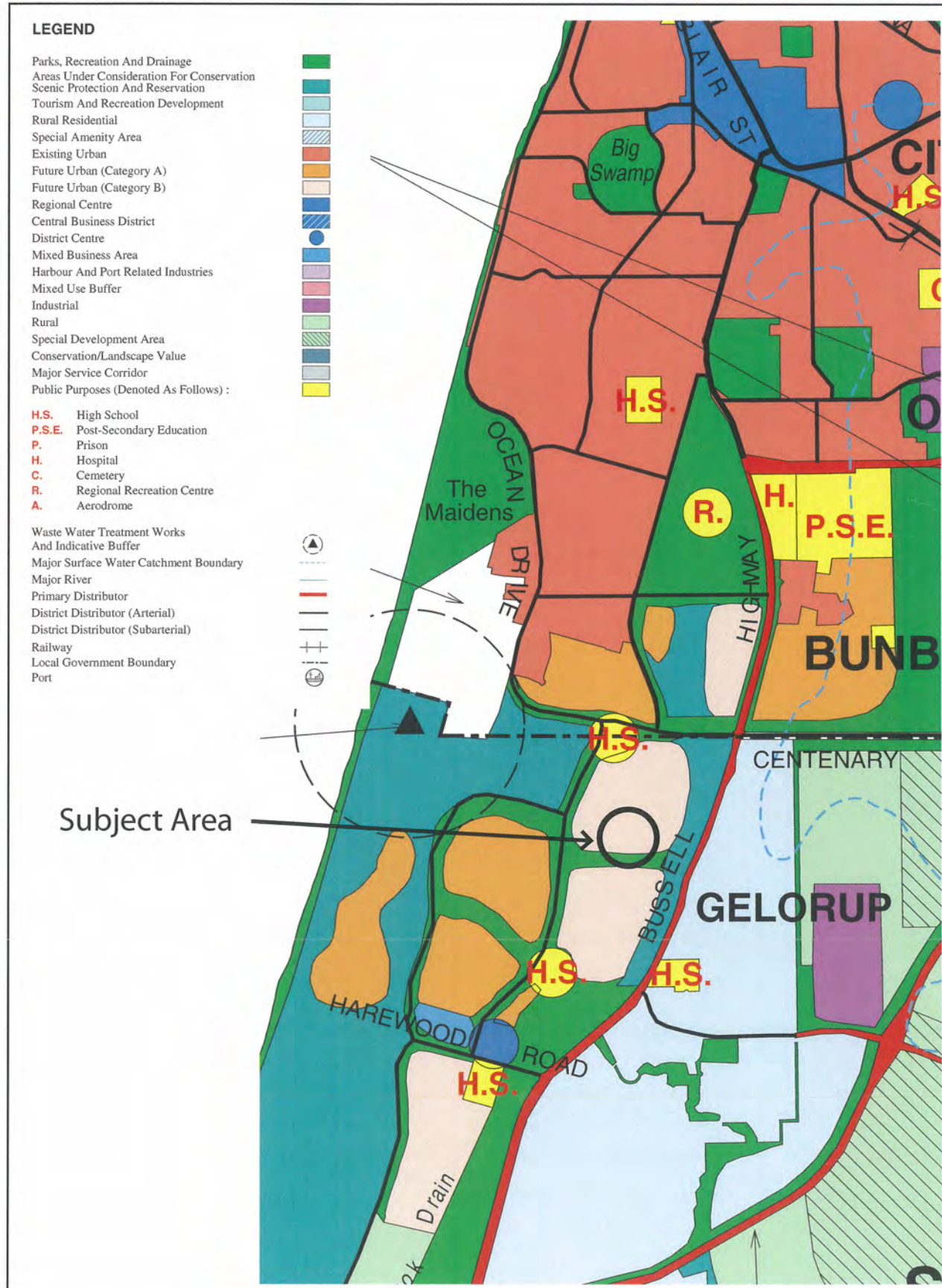


Figure 5 - Extract from Greater Bunbury Structure Plan

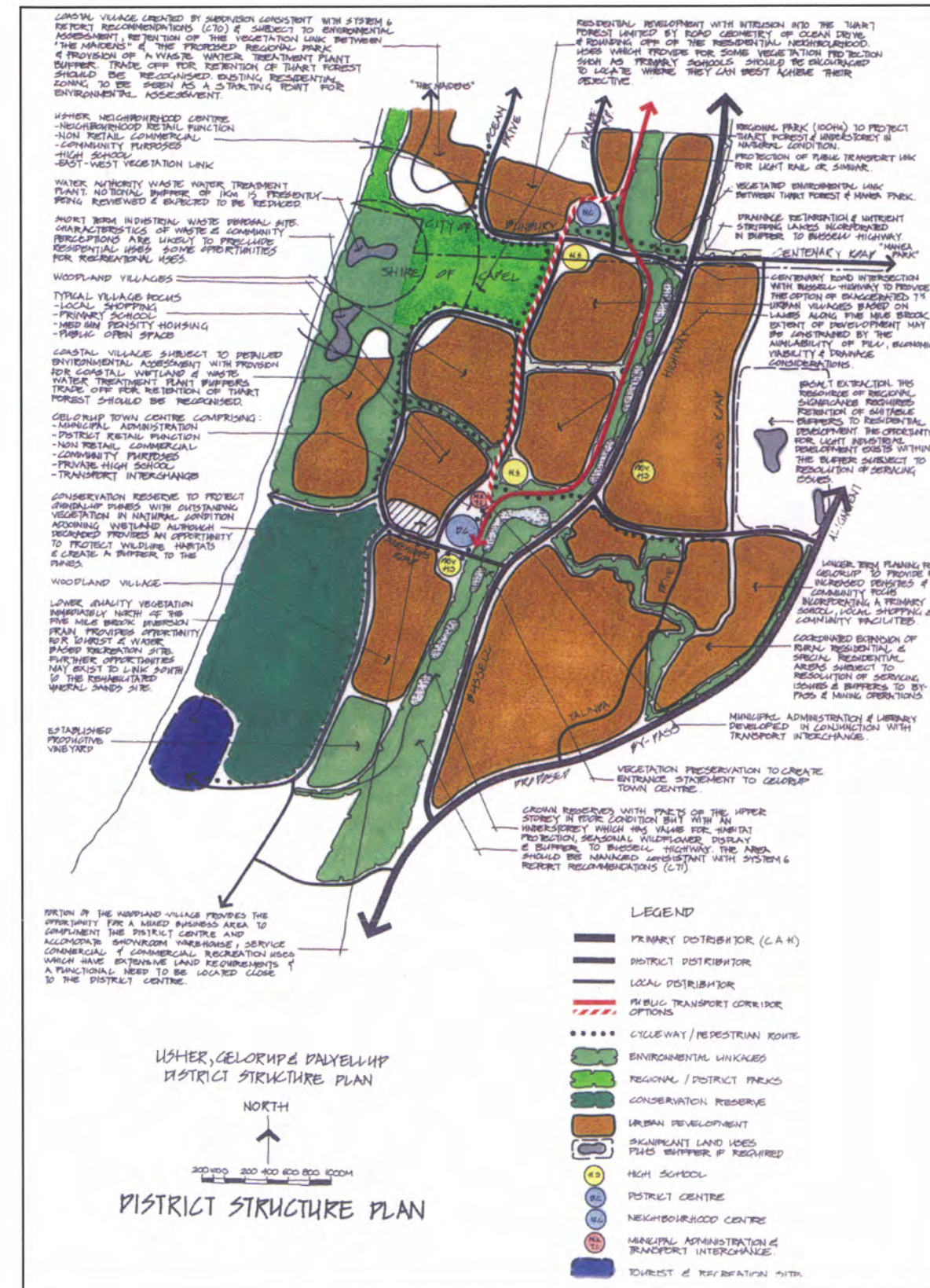


Figure 6 - Usher, Gelorup & Dalyellup District Structure Plan

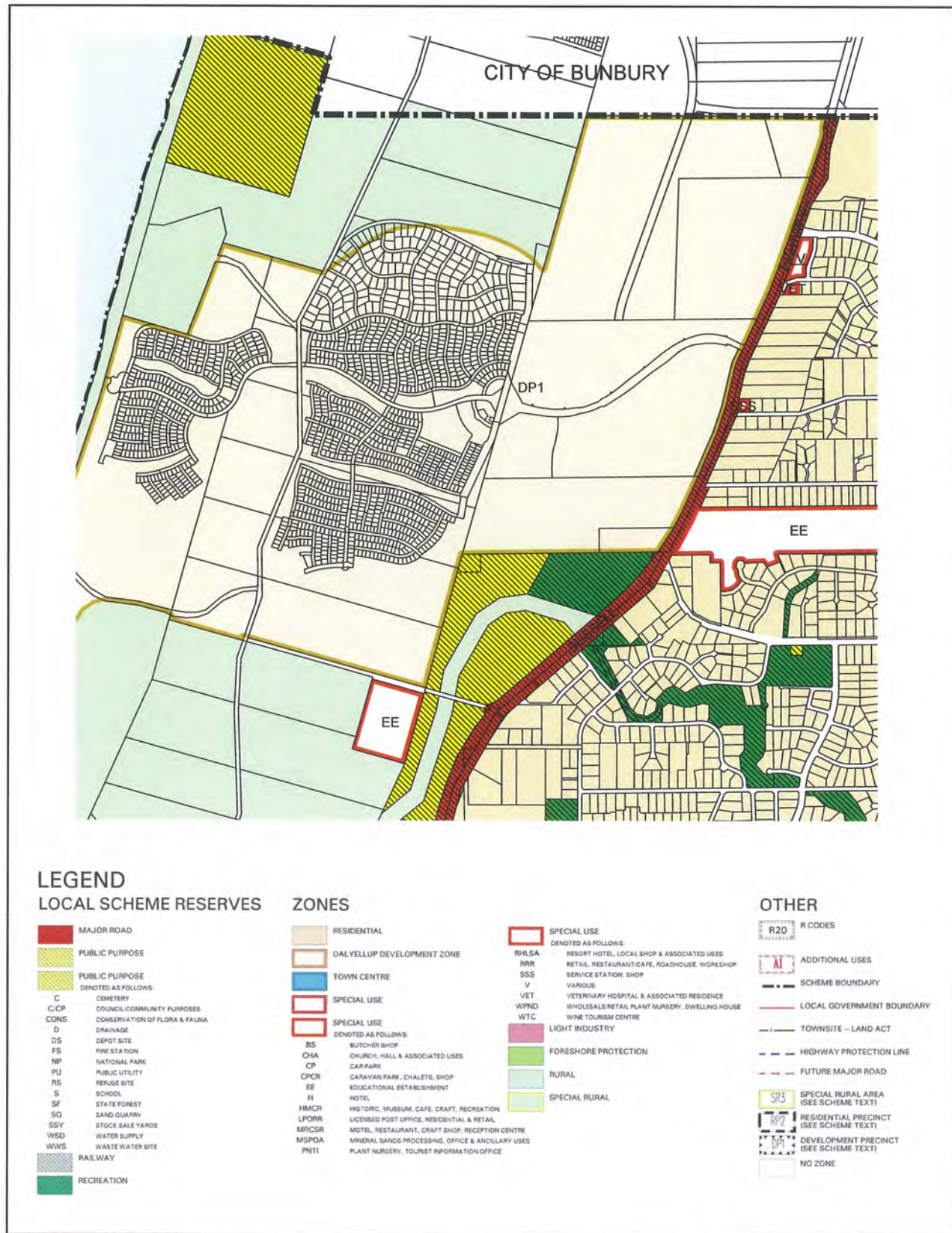


Figure 7 - Existing Zoning

- Clause 5.10.4, which states that “Prior to making recommendations to the Western Australian Planning Commission on subdivision applications, the Council shall have approved an Outline Development Plan”; and
- Clauses 5.10.6 to 5.10.10, which outlines advertising, adoption and modification requirements and processes.

3.8 DALYELLUP EAST LOCAL STRUCTURE PLAN

The Dalyellup East Local Structure Plan (DELSP) applies to the eastern portion of the Dalyellup area (see Figure 8). The DELSP was endorsed by the Shire of Capel and the WAPC in November 2007.

The DELSP identifies the site as “Aged Persons” with a density coding of R40.

The DELSP provides details on servicing arrangements and matters relating to drainage and storm-water management.

A modification to the DELSP is required to facilitate the development of the Aged Persons site to acknowledge detailed planning investigations and better reflect aged persons needs.

A major modification to the DELSP was undertaken to reflect planning initiatives associated with the future District Centre (see Figure 9).

3.9 LIVEABLE NEIGHBOURHOODS (LN)

LN is a WAPC operational policy to guide design and assessment of subdivisions and structure plans. LN 3 addresses both strategic and operational aspects of structure planning and subdivision development in a code framework.

The principle aims of the LN 3 are to:

- provide for an urban structure of walkable neighbourhoods clustering to form towns to reduce car dependence;
- ensure walkable neighbourhoods and access to services and facilities;
- foster a sense of community;
- provide an interconnected network of streets;
- ensure active street land use interfaces;
- facilitate mixed use urban development to provide a wide range of living; employment and leisure opportunities;
- provide a variety of lot sizes and housing types;
- provide an integrated approach to the design of open space and urban water management; and
- to maximize land use efficiency.

The ODP design reflects these aims.



4.0 OUTLINE DEVELOPMENT PLAN

In preparing the outline development plan for the site, exploration of the land use and movement frameworks was essential to ensuring a well crafted and appropriate design solution. The following highlights the key elements of the frameworks and helps provide context and understanding to the principles of the ODP concept Design.

4.1 DALYELLUP EAST LOCAL STRUCTURE PLAN MODIFICATIONS - LAND USE FRAMEWORK

A modification to the structure plan is required to enable the development of a comprehensive Senior Living Village that caters for a broad spectrum of senior persons' lifestyles, from active to frail aged. The village is to consist of a variety of housing accommodation, care facilities and village amenities. To accommodate these village facets, it is proposed that the structure plan map be modified to replace "Aged Persons R40" with a new description of the permitted uses to be "Aged Persons Accommodation, permanent care facility and ancillary uses".

The new designation on the Local Structure Plan is intended to provide a clear identification of the site's purpose. Appropriate detailed descriptions of land uses and design controls are set out in the ODP Section 4.0 Implementation provisions. These include a requirement to prepare design guidelines for precincts that respond directly to amenity, built form and land use while having proper regard to intended character and flavours of the wider locality.

4.2 TRAFFIC AND MOVEMENT FRAMEWORK

Existing Context

- Norton Promenade provides direct connection to Bussell Highway. It provides for a future bus stop connection but high traffic flows do not support direct vehicular access for lots
- Parade Road provides a connection to the district network and contains a median break north of the site to allow right turns. High traffic flows do not support direct vehicular access to lots
- Local Roads to north and east provide for connection to the wider locality, services local residents and can support direct vehicular access.
- The local path network provides linkages to surrounding areas including future district centre and provides access along the edge of a public open space/conservation area to the west.

Goals

- To provide safe access to district centre
- To provide safe access to bus stop
- To provide an additional leg to the roundabout intersection on Norton Promenade
- To provide an external connection to the north of the site via the local road network
- Prohibit direct vehicular access along Norton Promenade and Parade Road
- Encourage elements of direct vehicular access onto the local road network

A Traffic Impact Assessment has been undertaken by Donald Veal Consultants. This assessment considered impacts associated with the development of the subject land. In particular:

- Potential traffic impacts on the proposed single circulating roundabout to be located at Norton Promenade/Parade Road south
- Movements and access on Kambany Approach
- Rubbish collection options
- Internal access arrangements
- Non vehicular access opportunities
- Review of car parking provision.

The assessment concluded that:

"... there would be minimal impact associated with the site traffic generated by the proposed land uses on the adjacent boundary road network... We therefore find that transport related issues should not form an impediment to the approval of the Outline Development Plan..."

4.3 OUTLINE DEVELOPMENT CONCEPT DESIGN PHILOSOPHY

The ODP contains the following principle design elements:

- The creation of a central community focal point
- A local road network with two external connection points
- Location of higher intensity land uses along Parade Road and Norton Promenade
- Maximum of 2 storey development
- Lower scale development along interfaces with residential streets to reflect and enhance existing streetscapes
- Careful consideration of interface treatments

An indicative Concept Sketch for the development has been prepared to demonstrate how the site may be developed around the broad principles defined in the ODP and these principles are elaborated further through implementation details and further levels of details associated with the site.

4.4 URBAN WATER MANAGEMENT

Development of the site will be supported by a drainage management plan which will ensure that the site will be integrated into the water management plan for the locality.

4.5 SERVICING

The site will be connected to appropriate services to ensure suitable disposal of wastewater, water supply and power supply.

ENDORSED STRUCTURE PLAN

To provide a framework for future detailed planning at the subdivision and development stage.

Date *22/2/2010*

Delegated under s.16 of the Planning & Development Act 2005



Figure 10 - Modification 21 to Dalyellup Beach Estate Local Structure Plan - Land Use Framework

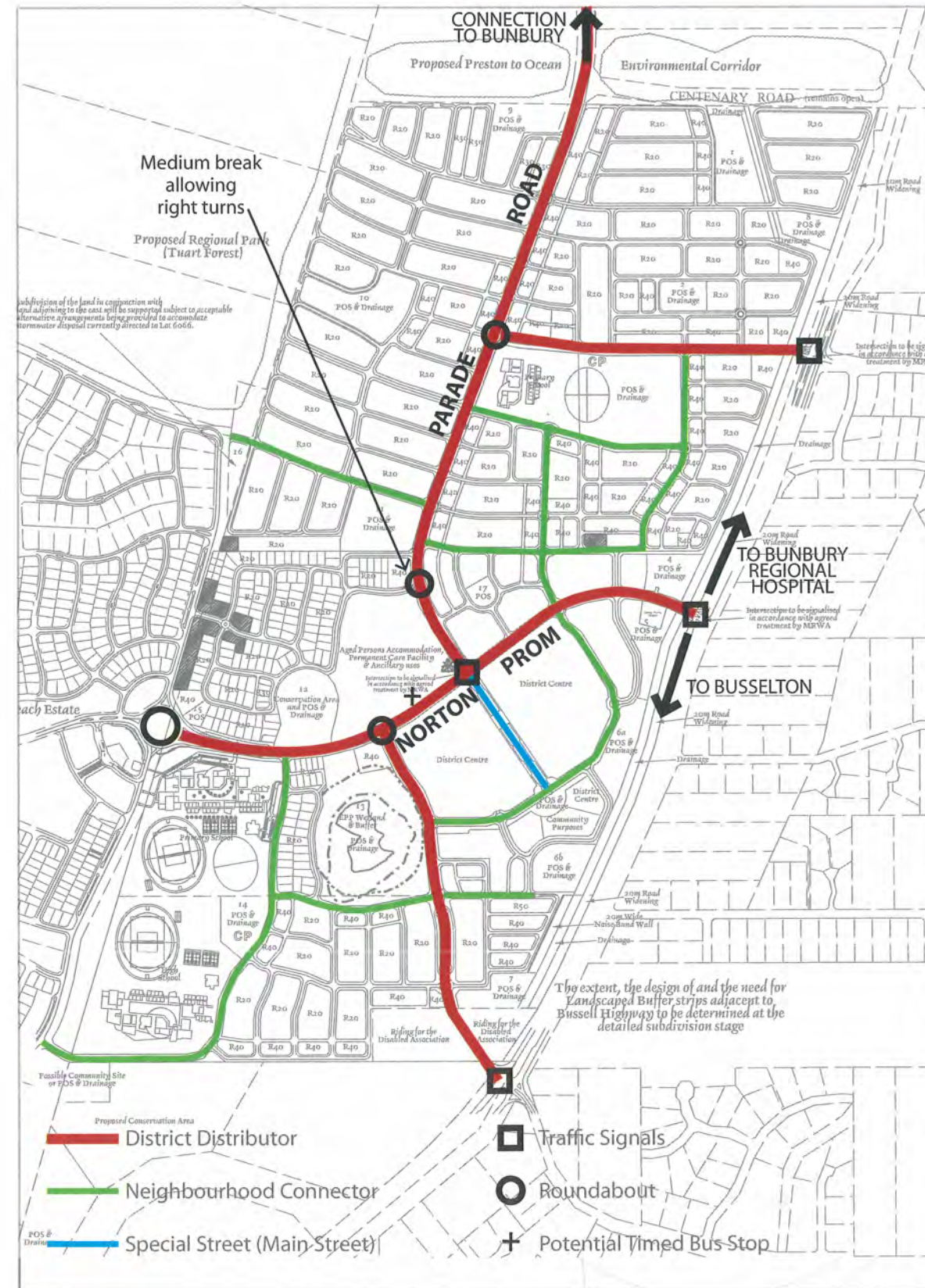


Figure 11 - Traffic and Movement Framework



ENDORSED STRUCTURE PLAN
To provide a framework for future detailed planning at the subdivision and development stage.

Date: 22/2/2010
Delegated under s.16 of the Planning & Development Act 2005

Figure 12 - Outline Development Plan



Figure 13 - Concept Sketch



5.0 IMPLEMENTATION

This section provides the framework and principles for future development of the ODP site.

5.1 VISION

To provide an attractive village community that caters for a broad spectrum of senior persons lifestyles, for active to frail aged, in a high amenity environment that embraces its local setting.

OBJECTIVES

To provide a framework for the "ODP area" in a manner which:

- Provides a wide range of housing and lifestyle options for aged retirees and aged persons within a high quality, safe and pleasant urban setting.
- Provides a range of complementary land uses framed within a central focal point to encourage village residents interaction and activity.
- Provides a high quality interface treatment with adjoining land uses.
- Promotes a built style along Parade Road and Norton Promenade that reflects its position in relation to the District Centre and significance of the Norton Promenade/Parade Road intersection within Dalyellup.
- Provides a high quality streetscape along residential streets that acknowledges existing building styles and positively enhances streetscape appeal.
- Provides for a range of complementary land uses framed within a well designed and landscaped setting that acknowledges its unique setting and role.
- Identifies areas where more detailed planning is required before subdivision or development will be entertained.
- Building design to obtain a 6 star rating and strive to incorporate passive solar design principles and demonstration of energy and water efficiency.
- Incorporate principles of designing out crime.

5.2 DEVELOPMENT STANDARDS – MATTERS TO BE ADDRESSED WITH PLANNING APPLICATION

This Section sets out the "Development Standards" which will be applied by the Shire of Capel and the Western Australian Planning Commission to implement proposals in the "ODP" area.

5.2.1 Assessment and Approval Process

For each precinct identified in the ODP, Council will require a Development Guide Plan consistent with the provisions of Town Planning Scheme No.7 to address:

- Preparation of design guidelines to address the objectives and standards which apply to development within each precinct
- A planning application which encompasses the entire precinct allowing Council to consider the development and the standard utilized on their merits. This performance based approach to assessment should address the objectives outlined for the Precincts and the broad design principles set out in the following section. The applicant will be required to demonstrate adequate provision and compliance with site development works for each precinct as a proportion of the completed ODP development including such matters as landscaping, access, parking and relevant utilities connections.

5.2.2 Design Principles

Design Guidelines shall be prepared to ensure a high standard of amenity. Matters to be considered include, setbacks, open space interfaces, building orientation, building design/style and materials.

The road and path network will be designed to:

- Accommodate two external access points as indicated on the ODP plan
- Provide a clear and legible internal network that logically links land uses and activities
- Provide a safe movement environment for vehicles, pedestrians and other means of assisted movement.
- Provide a safe and convenient access links to the local path network with the purpose of accessing public transport facilities (bus stop) and adjoining district centre facilities.
- Roadways will be designed to encourage multiple users on the pavement and verges and encourage low traffic speeds (up to 8km).

Carparking

- Carparking is to be provided in convenient locations.
- Carparking bay provision is to be provided to Council's satisfaction, having regard to the recommendations of a Traffic Study.

Water Management

The developer to comply with the requirements of the approved Water Management Plan for the Dalyellup East Local Structure Plan and endeavour to promote water sensitive urban design principles.

Landscape Plans

The developer is to prepare and implement a Landscape Plan to the satisfaction of Council prior to commencing development. The Landscape Plan shall address:



- The application of waterwise principles
- Ongoing management responsibilities
- Open space, drainage and streetscapes

5.2.3 Management Principles

Facilities Management

The ODP area will be managed and maintained by a single management entity to ensure a:

- High standard of amenity;
- Orderly development and coordination of activities and maintenance on site

In the event that it is necessary to subdivide the land to create either strata or green titles for the precincts depicted on the ODP the applicant for such subdivision shall demonstrate how the overall development will continue to be managed and maintained as a single entity.

5.3 LAND USE

The uses permitted within the ODP shall be in accordance with the land use description noted for the site within the Dalyellup East Local Structure Plan as amended by Modification 21 which is "Aged Persons' Accommodation, permanent care facility and ancillary uses". The range of uses that will be permitted pursuant to the term "ancillary uses" will be set out under the precinct provisions that follow.

5.4 STAGING

The development of the site will be undertaken in stages with the first being the 104 units and associated facilities in the Seniors Community Housing Precinct. The applicant(s) will provide to the Shire of Capel prior to the commencement of the first stage of development details of the staging of the site's development and will address the management, delivery and/or compliance with the following:

- The preparation and submission for approval of design guidelines for the Seniors Community Housing Precinct
- The interim landscape treatment of undeveloped portions of the site and adjacent road reserves
- The final landscape treatment of the Seniors Community Housing Precinct
- An urban water management plan consistent with WAPC guidelines for such plans
- The staged development of the internal road network and connections to the public road network.
- The staged development of the internal pedestrian path network and its connection to the external public network.

- Provision of a temporary access off Parade Road for use by construction, contractor and materials delivery vehicles.
- The control of construction waste and refuse on the site.
- The standard of interim and final boundary fencing.
- Certification of the 6 Star Energy Rating and analysis of the passive solar design features of Community Housing Precinct.
- The staged construction of car parking facilities, including the first stage access off Kambany Approach and subsequent main entry to the ODP area being a forth leg on the roundabout at the junction of Norton Promenade and the southern leg of Parade Road.

Prior to commencement of each subsequent stage, the applicant(s) is to address the following, to the satisfaction of the Shire of Capel:

- The preparation and submission for approval of design guidelines of the relevant precinct.
- the preparation of a final landscape plan for the relevant precinct and the balance land, including adjacent road reserves.
- Certification of the 6 Star Energy Rating and analysis of the passive solar design features of the relevant precinct.

6.0 PRECINCT STATEMENTS

The following sections outline the planning philosophies and controls for precincts. Each precinct includes a statement of intent, objectives and landuses.

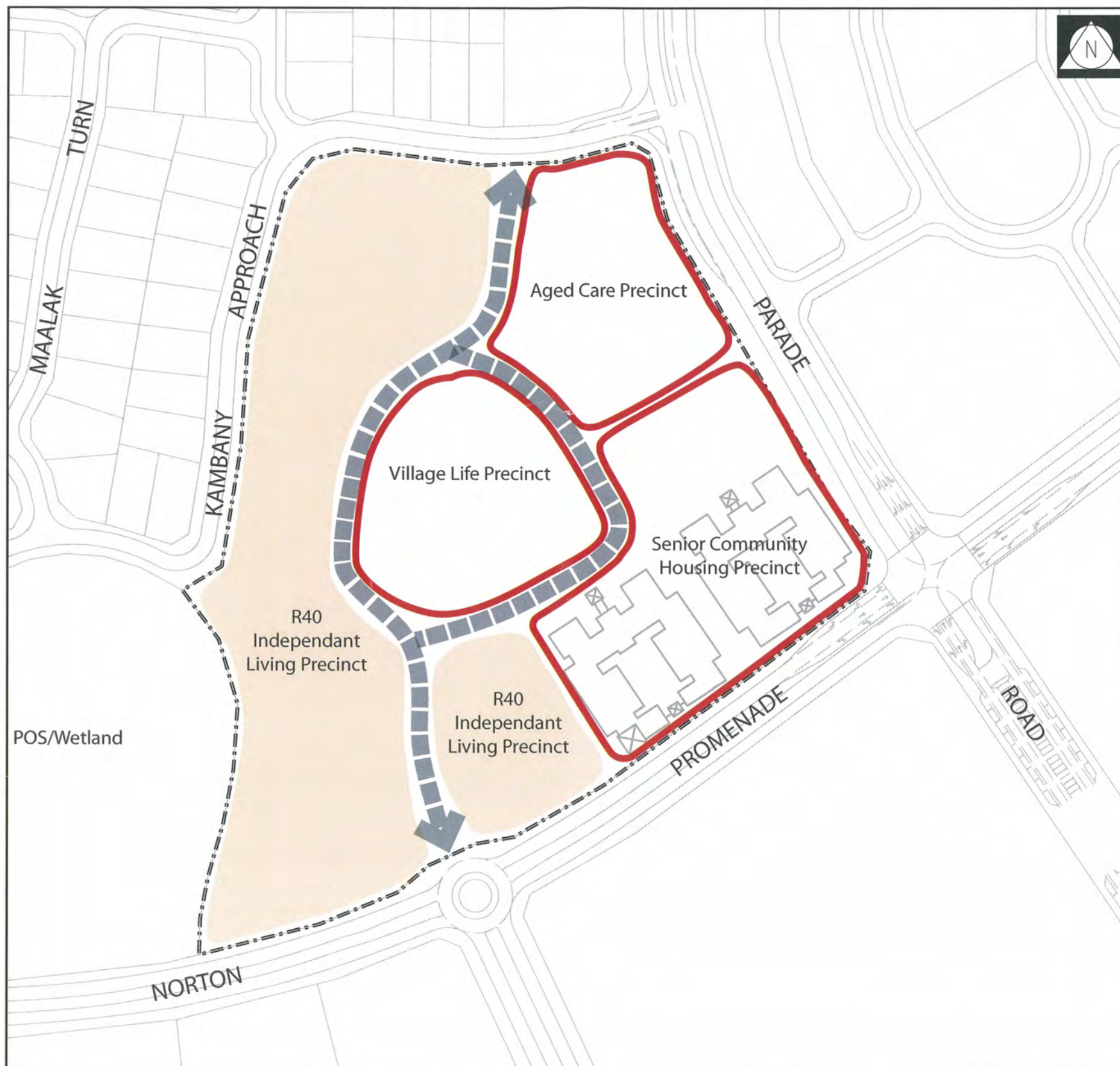


Figure 14 - Outline Development Plan - Precincts



6.1 INDEPENDENT LIVING PRECINCT

6.1.1 Statement of Intent

The Independent Living Precinct is to provide medium density housing that creates a high quality street environment that directly interacts with the wider surrounds.

6.1.2 Objectives

- To create high quality residential dwelling units that comply with the R40 Code.
- To treat the design of the street elevation of the dwellings with an appropriate style according to the type of road frontage they adjoin. On Kambany Approach the development should have regard to that fact that it faces single residential development while on Parade Road and Norton Promenade it faces high traffic roads and the District Centre and medium density housing.
- Where fencing is proposed on road front boundaries and adjoining public open space it should be generally open in nature and designed to avoid a sense of enclosure whilst providing sufficient definition at the property boundary, screening of any service areas and appropriate surveillance of public spaces.
- To encourage dwelling sites with direct vehicular access to Kambany Approach.
- To encourage at least one habitable room in dwellings to address the public street or open space environment.
- To screen utility and servicing areas from the street environment.
- To create a high amenity landscape environment.
- To provide safe and convenient access to facilities.
- Building orientation to maximize passive solar opportunities.
- Building design to obtain a 6 star rating and strive to incorporate passive solar design principles and demonstration of energy and water efficiency.

These objectives are to be implemented through design guidelines, prepared in consultation with the Shire. The guidelines will support future development applications.

6.1.3 Land Use

Permitted land uses in the Aged Care Precinct are

- Independent Living Dwellings
- Car Parking
- Other land uses may be considered which are consistent with the character of the precinct.



*Independent
Living Precinct*

6.2 VILLAGE LIFE PRECINCT

6.2.1 Statement of Intent

The Village Life Precinct is to provide a highly accessible focal point for community life within the ODP area and an area for serviced apartments.

6.2.2 Objectives

- To create a landmark feature defining a sense of arrival.
- To create a focal point for recreational and social activity.
- To create opportunity for accommodation options.
- Provide opportunity to integrate serviced apartments with communal facilities.
- To ensure a high level of access to car parking.
- To create a high amenity landscape environment
- To provide safe and convenient access to facilities
- To create distinctive design approaches acknowledging external street environments.
- Building design to obtain a 6 star rating and strive to incorporate passive solar design principles and demonstration of energy and water efficiency.

These objectives are to be implemented through design guidelines, prepared in consultation with the Shire. The guidelines will support future development applications.

6.2.3 Land Use

Permitted land uses in the Aged Care Precinct are:

- Aged Persons Serviced Apartments
- Car Parking
- Community Amenities
- Club House
- Village Centre
- Office
- Independent Living Dwellings
- Other land uses may be considered which are consistent with the character of the precinct.



Village Life Precinct



6.3 AGED CARE PRECINCT

6.3.1 Statement of Intent

The Aged Care Precinct is to provide supported aged care accommodation in a well located site with access to appropriate services.

6.3.2 Objectives

- To treat the design of the street elevation of the building including fencing with appropriate styles according to the type of road frontage it adjoins. On Kambany Approach the development should have regard to that fact that it faces single residential development while on Parade Road it faces a high traffic road and medium density housing.
- Where fencing is proposed on road front boundaries it should be generally open in nature and designed to avoid a sense of enclosure whilst providing sufficient definition at the property boundary, screening of any service areas and appropriate surveillance of public spaces.
- Building orientation to provide interest to the street environment.
- To ensure a high level of access to car parking and good access for servicing vehicles.
- Provide a coordinated landscape setting for the public and private realms along it's frontage.
- Building design to obtain a 6 star rating and strive to incorporate passive solar design principles and demonstration of energy and water efficiency.

These objectives are to be implemented through design guidelines, prepared in consultation with the Shire. The guidelines will support future development applications.

6.3.3 Land Use

Permitted land uses in the Aged Care Precinct are

- Permanent Care Facility (Aged Persons Focus)
- Car Parking
- Ancillary Uses
- Other land uses may be considered which are consistent with the character of the precinct.



Aged Care Precinct



6.4 SENIOR COMMUNITY HOUSING PRECINCT

6.4.1 Statement of Intent

The senior community housing precinct is to provide aged accommodation within 2 storey complex of apartments enclosing central courtyards and framed by a complementary landscaped open environment.

6.4.2 Objectives

- To treat the design of the street elevation of the buildings including fencing with an appropriate style according to the type of road frontage it adjoins. On Parade Road and Norton Promenade it faces high traffic roads, the District Centre and medium density housing. Building orientation is to provide interest to the street environment.
- Where fencing is proposed on road front boundaries it should be generally open in nature and designed to avoid a sense of enclosure whilst providing sufficient definition at the property boundary, screening of any service areas and maximize opportunities for overlooking the street environment.
- To ensure a high level of access to car parking.
- Provide a coordinated landscape setting for the public and private realms along its frontage.
- Provide safe and convenient pedestrian links to the external path network.
- Building design to obtain a 6 star rating and strive to incorporate passive solar design principles and demonstration of energy and water efficiency.

These objectives are to be implemented through design guidelines, prepared in consultation with the Shire. The guidelines will support future development applications.

6.4.3 Land Use

Permitted land uses in the Aged Care Precinct are:

- Aged Persons Serviced Apartments
- Car Parking
- Ancillary Uses
- Other land uses may be considered which are consistent with the character of this precinct



Senior Community Housing Precinct

